



Beacon Avenue, Great Barr  
Birmingham, B42 2FP

**£225,000**



# Great Barr

£225,000



Welcoming to the market, this beautifully presented two bedroom semi detached home located on Beacon Avenue. Situated on the popular Fore Meadows estate you are within close proximity to local amenities, shops, Schooling for all ages, and links to the M6 Motorway.

This home is approached with a paved pathway leading to the front door and a hallway which gives access to the ground floor living space.

The open plan kitchen offers a range of wall and base units, plenty of countertop space, sink unit with side drainer, gas hob and oven and space for other appliances. The lounge is a generously sized room with French doors opening out into the garden. Downstairs also has a useful W.C with hand wash basin.

Heading upstairs to the first floor you are presented with two double bedrooms and a family bathroom which consists of a bathtub with shower over, hand wash unit and W.C.

Externally, the home has a rear garden with large patio area and a tandem driveway.

Internal Viewing is highly recommended.





## Property Specification

MODERN SEMI DETACHED HOME  
BEAUTIFULLY PRESENTED  
TWO DOUBLE BEDROOMS  
OPEN PLAN KITCHEN  
DOWNSTAIRS W.C

**Lounge**  
16' 9" x 12' 10" (5.1m x 3.9m)

**Kitchen**  
10' 6" x 5' 11" (3.2m x 1.8m)

**W.C**  
4' 11" x 2' 7" (1.5m x 0.8m)

**Bedroom One**  
10' 1" x 12' 10" (3.08m x 3.9m)

**Bathroom**  
5' 11" x 0' 8" (1.8m x 0.2m)

**Bedroom Two**  
8' 10" x 12' 10" (2.7m x 3.9m)

### Agent's Note:

Every care has been taken with the preparation of these Sales Particulars but they are for general guidance only and complete accuracy cannot be guaranteed. If there is any point which is of particular importance, professional verification should be sought. The mention of any fixtures, fittings and/or appliances does not imply they are in full efficient working order as they have not been tested. All dimensions are approximate. Photographs are reproduced for general information and it cannot be inferred that any item shown is included in the sale. These Sales Particulars do not constitute a contract or part of a contract.  
Came on the market: 9th February 2024

### Viewer's Note:

Services connected: mains electricity, gas, water and drainage

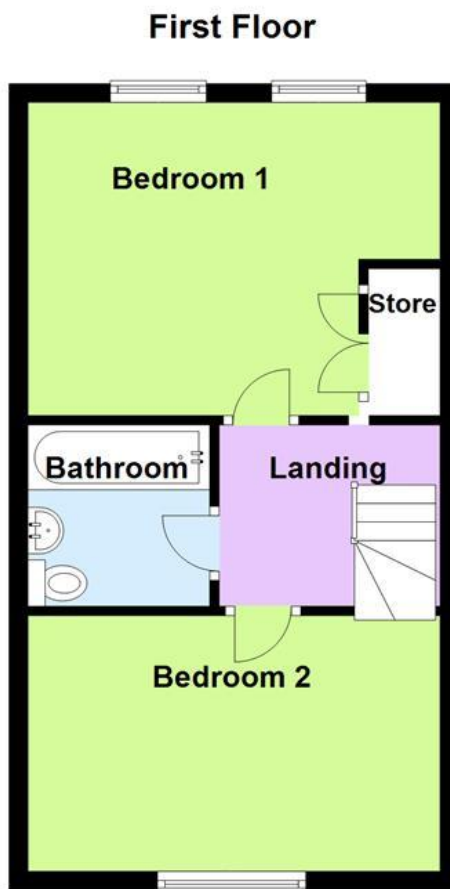
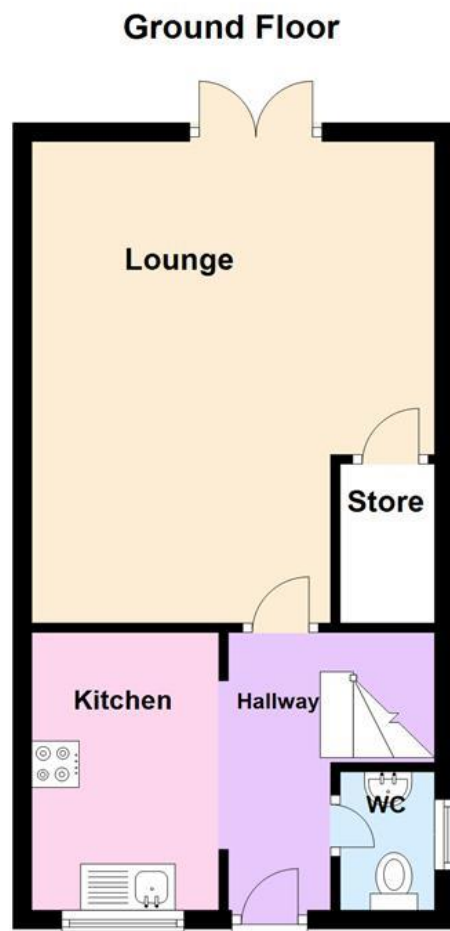
Council tax band: B

Tenure: Freehold



# Floor Plan

This floor plan is not drawn to scale and is for illustration purposes only



## Energy Efficiency Rating

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92-100)	<b>A</b>		97
(81-91)	<b>B</b>	83	
(69-80)	<b>C</b>		
(55-68)	<b>D</b>		
(39-54)	<b>E</b>		
(21-38)	<b>F</b>		
(1-20)	<b>G</b>		
Not energy efficient - higher running costs			
England, Scotland & Wales		EU Directive 2002/91/EC	

## Map Location

